



## NIAGARA-ON-THE-LAKE CODE

## GENERAL

**These Codes (Architectural and Urban Regulations)** are not intended to be static and will be reviewed and updated periodically to consider such things as improved building materials and techniques, as well as to clarify intent as required.

**These Regulations** are strictly aesthetic in their intent. Any conflict between these regulations and locally applicable codes shall result in these regulations being overridden, with notification given to the Town Architect. The Town Architect shall approve all color selections.

**These Regulations** are intended to produce buildings which are compatible with the historic architecture of Niagara-on-the-Lake. For a better understanding of the traditional architecture of the region, designers are directed to the guidebook *The Early Architecture of the Town and Township of Niagara* by Peter John Stokes, published by the Niagara Foundation; and *Traditional Construction Patterns* by Steven Mouzon, published by McGraw Hill. For structures containing retail, designers are required to also consult The Village at Old Niagara Retail Regulations.

**Civic Buildings** are to be treated on a site and project specific basis. They should be exemplary designs to reflect their civic nature, placement and role in The Village. They will be held to a higher standard than the minimum required by The Codes.

**Variances** to the Architectural Regulations may be granted on the basis of architectural merit or hardship.

**Buildings shall be designed** with appropriate concern given to handicapped accessibility and energy efficiency.

**The term “brick”** refers to clay brick in a traditional color.

**Hardiplank** or an equivalent cementitious board, in its smooth-surfaced variety, may be substituted for wood in all applications.

## WALLS MATERIALS

**Walls** shall be finished in brick, stone, hardiplank, cedar shingles, stucco (or polymer coating,) or wood siding sealed with paint or stain.

**Foundation Walls, Piers and Pilings** shall be parged block or smooth-finished poured concrete, wood, or other systems approved by the Town Architect.

**Undercrofts** may be skirted with horizontal wood boards or framed wood, with spaces between members not larger than 1.5” or smaller than 0.75”. Lattice (horizontal and vertical only) shall be installed between piers and pilings.

**Picket fences** required by the Urban Regulations should be wood, but may be substituted by a garden wall or dense shrubbery of the same height. Fences may also be of a wrought-iron design approved by the Town Architect.

**Garden Walls** shall be made of clay brick, stuccoed concrete, regional stone, or sheathed (on both sides) with wood siding in a continuation of the sheathing of the house (with all openings cased.) Gates in garden walls shall be wood or wrought iron. Garden walls shall not be perforated with precast elements.

**Privacy Fences** shall be made of smooth cedar. Wood fences may be painted or stained and may have stucco or clay brick piers. Cedar fences may be left to age naturally.

Retaining Walls shall be brick, local stone, or stuccoed where visible from the public realm.

## CONFIGURATIONS & TECHNIQUES

Walls may be built of no more than two materials and shall only change material along a horizontal line, i.e. cedar shingles may be combined with wood siding when the material change occurs horizontally, (typically at a floor line or a gable end), with the heavier material below the lighter. Walls of a single building shall be built of the same materials in the same configuration. Wood clapboard and shingles shall be horizontal. Brick or stone may be combined.

Wood Siding shall appear in one of the following configurations: clapboard, shiplap, tongue & groove, or board and batten. Wood Siding shall be horizontal, maximum 6” to the weather, with the exception of authentic board and batten.

Shingles shall be maximum 8” to the weather. Decorative shingles shall not be permitted unless authentic to the design. Shingles shall be machine cut with bottom edges aligned.

Stucco shall be applied to concrete block or poured concrete. (Stucco shall not be applied to plywood, or show any joints.) Stucco shall be sand finished or steel trowelled to a smooth or evenly pebbled surface. Acrylic, sprayed and/or vitriolic stucco systems (EIFS) are not permitted.

Foundation Walls shall be exposed a minimum of 6” and a maximum of 36” above grade at the wall.

Trim shall be minimum grade ‘B’ trim lumber and shall not exceed 6” in width at corners and 4” in width around openings, except at the front door where it may be any size or configuration. Exceptions may be granted for shingle structures and for authentic classical detailing.

Garden Walls shall be a minimum 8” thick and have a horizontal cap.

Front Fences are permitted to have the same design for a maximum of two contiguous lots. The designs shall be approved by the Town Architect. Picket Fences shall be designed in a traditional picket or paling configuration, made of wood, and painted white. Board configurations are also allowed if they present an articulated top edge (not flat). Iron fences of traditional design may substitute a picket fence.

# CODES - URBAN REGULATIONS

## NIAGARA-ON-THE-LAKE, ONTARIO

### ELEMENTS MATERIALS

**Chimneys** shall be brick, local stone, or stuccoed. Flues for pot belly stoves shall be metal.

**Piers and Arches** shall be brick, stone, or stuccoed.

**Columns, Posts, Spindles and Balusters** shall be made of wood or approved composite and their designs shall be approved by the Town Architect. Porches may be enclosed with glass or screens; however, glass enclosures are not permitted at frontages. Porch ceiling framing may be enclosed with painted wood; exposed joists shall be painted or stained.

**Arcades** shall be brick, stone, stuccoed and/or metal.

**Porches and Stoops** shall be made of wood, brick or concrete. If concrete, a stoop shall have brick or stucco cheek walls, or be parged.

**Patios and Stoops** may have horizontal surfaces made of brick or stone.

**Decks** shall be located only in rear yards and where not visible from streets or paths.

**Signs** shall be made of wood and (carefully) hand painted. Metal signs may be approved at the discretion of the Town Architect but cannot exceed two square feet in face area per side.

**Cloth or metal awnings** are not permitted at residential frontages.

**Metal Elements** shall be natural-colored galvanized steel, anodized or electrostatic-plate aluminum, or marine-grade aluminum.

### **CONFIGURATIONS & TECHNIQUES**

**Chimneys** shall be a minimum 2:1 proportion in plan and capped to conceal spark arresters. Fireplace enclosures and chimneys shall extend to the ground. Gas chimney exhaust shall be black and of minimum height.

**Masonry piers** shall be no less than 12"x12".

**Arches** should be no less than 8" thick (from front to back).

**Arcades and Breezeways** shall have vertically proportioned openings.

**Screened Porches** shall have screens framed in wood installed behind framed railings. If not visible from a street or path the framing may be aluminium if approved by the Town Architect's office.

**Front stoops** shall be sized and shaped in a manner appropriate to the mass of the house, and are subject to the review of the Town Architect.

**Classical Columns** and detailing (The Orders), if provided, shall be historically precedented and compatible to the style of the building, with proportions and profiles approved by the Town Architect. *The American Vignola* is recommended as a sourcebook.

**Posts** shall be no less than 5"x5", and their proportions and profile shall be approved by the Town Architect's office.

**Railings** shall have top and bottom rails and be made of wood or metal. Wood top rails shall be eased and bottom rails shall have a vertically proportioned section. Top and bottom rails shall be centered on the pickets. The openings between spindles and balusters shall not exceed 4".

**Balconies** shall be structurally supported by brackets or vertical posts.

**Wood Elements** that are visible from any public realm shall be painted or sealed with an opaque or semisolid stain, except walking surfaces which may be left natural.

**Exterior Lighting** shall follow the lighting policy of the Town Architect's office. All exterior bulbs shall be of an equivalent spectrum.

### ROOFS MATERIALS

**Roofs** shall be clad in one of the following materials, in its natural color: wood shingles, galvanized steel (corrugated, 5 V crimp or standing seam), galvalume, copper, or natural slate. Artificial slate and asphalt shingles are acceptable if approved by the Town Architect.

**Gutters and Downspouts**, when used, shall be made of galvanized steel, copper (not copper-coated), anodized or painted aluminum. Splash blocks shall be made of concrete, brick or gravel. In the absence of gutter, brick, or other pervious materials, gravel shall be placed at the drip line.

**Fascia** shall be wood or hardiplank.

**Flashing** shall be copper, lead or aluminum.

**Copper roofs, flashing, gutters and downspouts** shall be allowed to age naturally (not painted or sealed).

### **CONFIGURATIONS & TECHNIQUES**

**Principal Roofs** on all freestanding buildings shall be a symmetrical hip, gable, gabled hip, hipped gable, or cross gable, with a slope of 4:12 to 12:12. Also acceptable if historically accurate are the following types of roof: gambrel, hipped gambrel, mansard, gabled mansard, and saltbox (see *The Early Architecture of the Town and Township of Niagara*).

**Ancillary Roofs** (attached to walls at the upper portion) may be sheds sloped no less than 3:12.

**Flat Roofs** that are non accessible shall have a parapet wall or 20" maximum decorative railing. Flat roofs shall not be permitted on single-family residences, semis and townhouses, but may be used on garages, carports or screened-in porches if approved by the Town Architect's office.

**Pitched roofs** shall not have their downward pitch in the direction of an immediately adjacent (party wall) building.

**Parapets** shall be horizontal in elevation when viewed from the street, unless articulated in a traditional symmetrical composition that masks a gable end, either parallel to the gable slope, stepped, or authentic Dutch.

**Eaves** shall be continuous, shall overhang less than 16" and should have a closed soffit.

**Downspouts** shall be placed at the corners of the building least visible from nearby streets, or symmetrically arranged as an integral part of the facade composition. Gutters shall be half-round, rectangular, or ogee. Downspouts shall be round or rectangular.

**Dormers** shall be habitable, placed flush with the front façade and a minimum of 3' from side building walls, and have gable or hipped roofs with a slope not to exceed that of the principal roof, or shed roofs with a slope of one half the slope of the principal roof. Dormers shall be no larger than is necessary to hold their windows and framing (2 x 4's with rigid insulation), and only shed dormers may hold more than one window. Dormer windows shall match the standard window size of the house or be smaller. All dormers easily visible from adjacent streets shall be of the same design.

**Roof Penetrations**, except stucco or brick chimneys, shall be placed so as not to be easily visible from streets or paths. Roof penetrations, except stucco or brick chimneys, shall be painted black or to match the color of the roof and shall extend minimum heights.

**Skylights** shall be flat and placed only where not easily visible from streets or paths.

**Overlapping Gables** - Roof ends in which a smaller gable sits in front of a larger gable, from which it projects less than ten feet, are only permitted when the smaller gable is a front porch roof.

**OPENINGS  
MATERIALS**

**Windows** shall be made of painted wood, solid vinyl or painted aluminum — the latter two to be approved by the Town Architect — and shall be glazed with clear glass. Basement and attic windows exposed to the public realm are subject to the same requirements as other windows.

**Bay Windows** shall be made of trim lumber, brick or stone.

**For each building, a maximum of one arched window** may be easily visible from adjacent streets and, if present, it shall be located above the front door.

**Doors** (including garage doors) shall be wood, composite, plank or steel-clad wood plank. Doors shall be painted or stained. Metal-skinned or fiberglass doors are only permitted on elevations exposed to the public realm if approved by the Town Architect's office.

**Shutters** shall be wood. Metal, fypon or fiberglass shutters may be allowed if approved by the Town Architect's office.

**Security Doors and Window Grilles** shall be approved by the Town Architect.

**CONFIGURATIONS & TECHNIQUES**

**Windows** should be operable. They shall be rectangular, and vertically proportioned, with a minimum height: width ratio of 1.5:1. Transoms may be oriented horizontally with panes of vertical proportion. The window sash shall be located interior to the centerline of the wall.

**In residential buildings, each window** easily visible from adjacent streets shall be separated from the window next to it by a section of wall no narrower than the glass portion of the window, with exceptions granted for solar exposure on southern facades. When the above exception allows multiple windows to occur in the same rough opening, they shall be separated by a 4" minimum post.

**A total of five different window types** may occur in facades of houses facing streets, as follows:

1. a standard window type;
2. an upstairs type that is equal in width to the first-floor type but need not be as tall;
3. a dormer type;
4. a basement type;
5. transoms, sidelights, and other glass located in the entry bay of the house. Types 1, 2, and 3 may all be identical. Pane size and shape should be either identical or proportionately consistent for all windows. Facades shall be designed as a coherent whole, and in concert with adjacent side facades.

**Window Muntins** are required and shall be true divided light or fixed on the exterior window surface (and preferably the interior surface as well), and shall create panels of square or vertical proportion. 4 over 4, 6 over 6, 8 over 8, and 12 over 12 windows are encouraged. 2 over 0, 4 over 0, and 6 over 0 are permitted. Retail store windows do not require muntins or divisions.

**Bay Windows** shall have a minimum of 3 sides and shall either extend to the ground or be structurally supported by brackets. They shall return to the building at a 90° angle.

**Storm Windows and Screens** shall be integral with the window. Screens shall be made of brass, bronze or black vinyl.

**Front Doors** should be located on the frontage line in residential structures, but recessed doors shall be allowed if approved by the Town Architect's office. For houses on corners, the principal entry should be located on the side of the house facing the larger street (except in the case of row houses (Type IV) in which front doors on corner lots may be located on the flank side of the building.) Paired main entry doors are not permitted at the frontages of residential buildings; however, a front door may sit behind a paired screen door of equal total width. Transoms and sidelights are encouraged.

**Doors** shall be hinged. Doors, except garage doors, shall be constructed of planks or raised panels (not flush with applied trim) which express the construction technique. Residential front doors shall be a symmetrical design of 2 to 8 rectangular panels and may not contain glass. Other styles may be permitted if approved by the Town Architect.

**Garage Doors** shall be a maximum of 9' in width. Garage doors facing an alley shall have a cantilevered light fixture centered above the door with a minimum 40 watt bulb. Motion activated lights are not permitted. Garage doors shall be painted or stained.

**Shutters** shall be sized and shaped to match their openings and with proper hardware and shall appear to be fully operable.

**Stucco** Trim articulations shall be subject to approval by the Town Architect.

**Fan louvers and vents** shall generally be avoided on elevations facing streets. When not avoidable, they shall be shaped and placed to form an integral part of the facade composition, and painted the trim color of the house.

**MISCELLANEOUS**

**All exterior colours** shall be selected from the Town Architect's Paint Schedule. **Walls** shall be no more than one colour per material used. **Trim** (balconies, porches, window surrounds etc.), shall be one colour. **One additional Accent Colour**, for items such as the front door and shutters, may be used subject to approval from the Town Architect. For walls of natural wood colour, trim shall be white semi-gloss paint. **Colours of stucco, polymer coating, and other similar materials** shall be in the off-white, buff, and grey range. **Front fences** shall be painted white. **Privacy fences** shall be board fences which are painted or stained a natural color. Cedar boards may be left to age naturally.

**Driveways and Garage Aprons** shall be of square or rectangular brick, concrete pavers, tar and chip, D.O.T. base, crushed brick, gravel or asphalt with stones and fines with no less than HL4.

**The following shall be selected from the Town Architect's Master List:** Brick, mortar colours, fence designs.

**The following shall be permitted only in rear yards** and where not easily visible from streets or paths: solar panels, satellite dishes, permanent grills, permanent play equipment and hot tubs (those at ground level shall be covered). Direct vent fireplaces, if visible, shall be screened from public view and painted to match the wall. HVAC equipment, electrical and gas meters should be located in rear yards wherever possible and shall be screened from public view.

# CODES - URBAN REGULATIONS

## NIAGARA-ON-THE-LAKE, ONTARIO

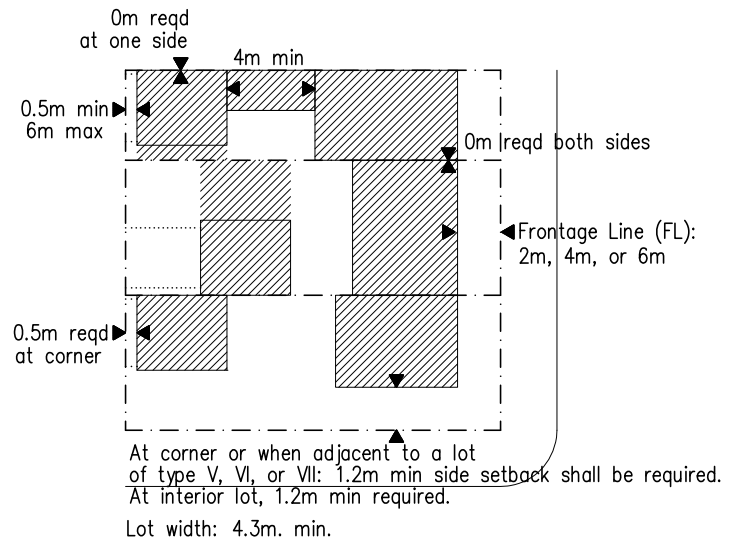
## TYPE IV - ROWHOUSE / SEMI

### NOTES

- All proposed designs shall be submitted for approval to the Town Architect's office as stipulated in The Village Design Review Procedures. These regulations may be supplemented by additional review criteria.
- Type IV is allowed in the Visitor Commercial, Local Commercial, Local Commercial Mixed, RM5 and RM5-1 zones.
- The term "Frontage Line" (FL) refers to the line upon which the front wall of a building sits and is synonymous with its setback requirement. Frontage Lines also exist for side walls facing a street or path. As specified, porches, stoops, balconies, and bay windows may protrude beyond the Frontage Line.
- A corner condition exists whenever a road intersects with another road, a plaza, or a pedestrian path with a width of 5 meters of greater.
- These regulations are strictly aesthetic in their intent. In cases of contradiction with local safety codes, these regulations shall be overruled, with notification given to the Village Architect. In no way does compliance with these regulations exempt a structure from conformance with other applicable codes.
- These regulations may be overridden by The Village Regulating Plan.
- Exceptions to these regulations may be granted on the basis of architectural merit or hardship.
- Mobile homes, trailers, boats and watercraft shall not be stored or parked on site except if inside a garage.

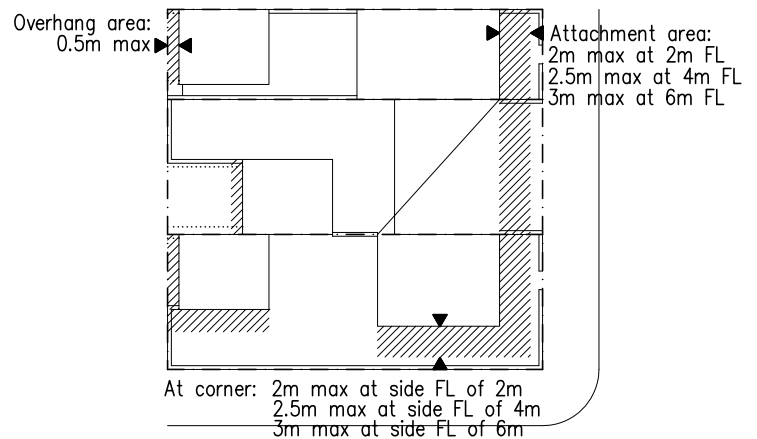
### PLACEMENT

- Buildings shall be placed on the lot relative to the property lines as shown.
- The building may have its Frontage Line at 2m, 4m, or 6m, as specified in the Regulating Plan.
- All rowhouses which share a party wall should have the same Frontage Line.
- Buildings may have no more than 4 outside corners on the principal frontage, including porches.
- The garage shall sit at a distance of 0.5m minimum, and 6m max. from the rear Property Line.
- The street facade shall extend along 100% of the Frontage Line, with the exception of corner conditions.
- Rowhouses shall be set back 1.2m minimum from the corner property line. In addition, side property line setback shall be 1.2m minimum at corners or when adjacent to the following lot types: V, VI, VII.
- Rowhouses on corner lots may have their entrances on the side facade, in which case the side elevation shall be designed to resemble a house front, with a minimum of three windows on each of the first two stories.
- An accessory structure is allowed within the parking area.



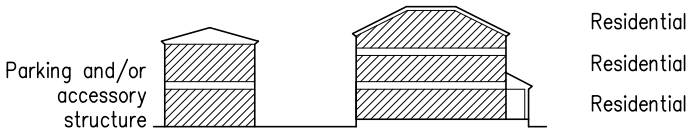
### ELEMENTS

- Any allowed porches, stoops, balconies, roof overhangs, and/or bay windows may encroach within the Attachment Area shown.
- When allowed, front picket fences shall be built on the front Property Line, with openings where access is required. Where no building wall is present, a garden wall or privacy fence shall be built on shared side property lines.
- A garden wall or a privacy fence shall be built at a distance of 0m from the alley Property Line, with openings where access is required.
- Attachments: balconies, roof overhangs, and bay windows are always permitted within the area shown. Porches, stoops, and/or fences are required to be present in one of the following configurations:
  - \* If the Frontage Line is at 2m, either a stoop or a porch is required. Neither may be greater than 10 sq.m. in area. No front picket fence is permitted.
  - \* If the Frontage Line is at 4m or 6m, one of the following conditions is required: a porch, or a stoop.
- In addition, porches, stoops, balconies, roof overhangs, bay windows and other attachments are always permitted within the footprint described in Placement above.
- Openings in garden walls and privacy fences shall be gated.
- Porches shall be a minimum of 2m deep. Balconies shall be a minimum of 1m deep.



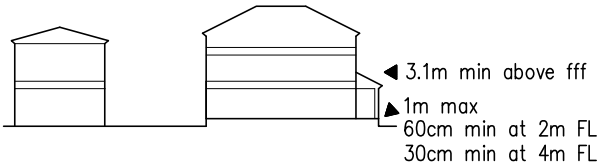
**USE**

- 1. Uses within the buildings shall be as shown.



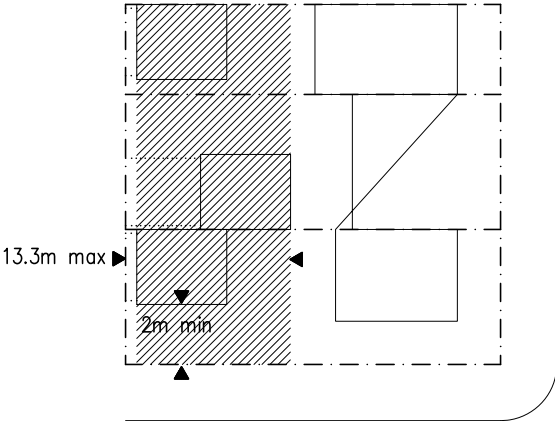
**HEIGHT**

- 1. Building height shall be measured according to the applicable N.O.T.L Zoning Bylaws.
- 2. The finished first floor (fff) is determined as shown.
- 3. The minimum exterior exposed front wall shall be 3.1m from the finished first floor (fff).
- 4. Privacy fences and garden walls shall be between 1.5m and 2.4m in height.
- 5. Picket fences shall be 60cm to 1m tall.



**PARKING**

- 1. The N.O.T.L Zoning Bylaws shall determine the minimum number of parking spaces that shall be provided for the building on-site.
- 2. Buildings on corner lots shall have garages if on an alley.
- 3. All on-site parking shall be accessed via the alley.
- 4. Trash containers shall be located within the parking area and shall be screened from view.



# CODES - URBAN REGULATIONS

## NIAGARA-ON-THE-LAKE, ONTARIO

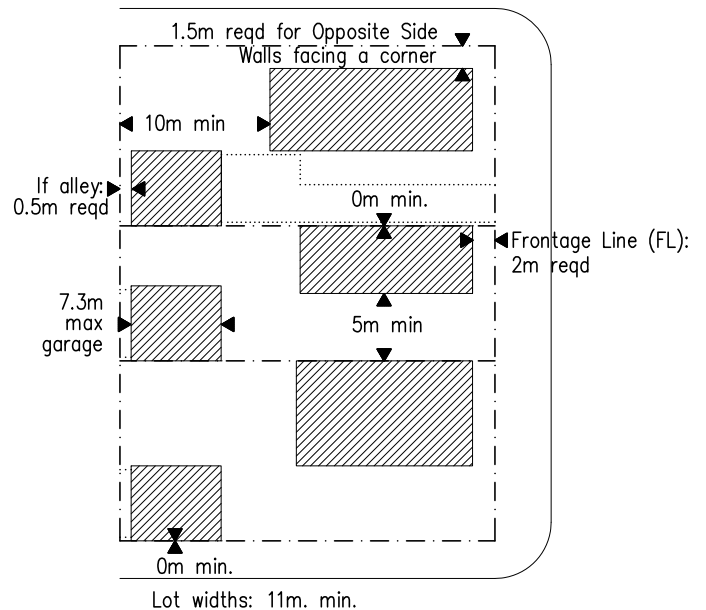
## TYPE V - SIDEYARD HOUSE

### NOTES

1. All proposed designs shall be submitted for approval to the Town Architect's office as stipulated in The Village Design Review Procedures. These regulations may be supplemented by additional review criteria.
2. Type V is allowed in the RM5 and RM5-1 zones.
3. The term "Frontage Line" (FL) refers to the line upon which the front wall of a building sits and is synonymous with its setback requirement. Frontage Lines also exist for side walls facing a street or path. As specified, porches, stoops, balconies, and bay windows may protrude beyond the Frontage Line.
4. A corner condition exists whenever a road intersects with another road, a plaza, or a pedestrian path with a width of 5 meters or greater.
5. These regulations are strictly aesthetic in their intent. In cases of contradiction with local safety codes, these regulations shall be overruled, with notification given to the Village Architect. In no way does compliance with these regulations exempt a structure from conformance with other applicable codes.
6. These regulations may be overridden by The Village Regulating Plan.
7. Exceptions to these regulations may be granted on the basis of architectural merit or hardship.
8. Mobile homes, trailers, boats and watercraft shall not be stored or parked on site except if inside a garage.

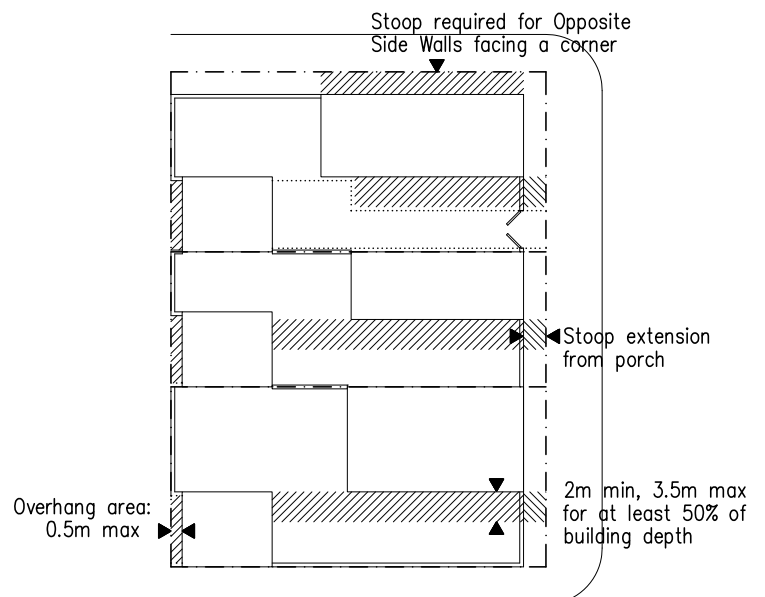
### PLACEMENT

1. Buildings shall be placed on the lot relative to the property lines as shown.
2. Buildings shall have one side wall on a side Property Line and the other side wall on a side setback of at least 5m. The only exception is when an Opposite-Side Wall occurs at a corner, in which case it shall be set back 2m and treated like a house front (as shown).
3. The buildings may be placed in one of two configurations: Detached or Duplex. In the Detached configuration, adjacent houses face in the same direction and share no party walls. In the Duplex configuration (not shown), adjacent houses share a party wall at the lot line and thus face in opposite directions.
4. Detached sideyard houses should typically face south or east.
5. The house shall have its Frontage Line at 2m and shall be set back 10m minimum from the rear Property Line.
6. The front facade shall be composed as a single plane.
7. Garages shall be set against the side Property Line which is faced by the sideyard porch and shall be no more than 7.3m deep.
8. An accessory structure is allowed within the parking area.



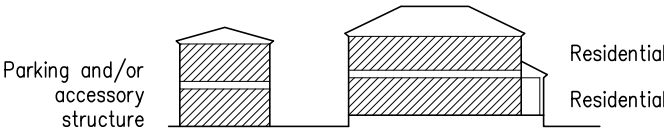
### ELEMENTS

1. A one or two-story side porch is required on the side of the house as shown and shall be a minimum of 50% as long as the house and between 2m and 4m deep. Porches may extend to meet garages.
2. A stoop is required in the front yard at the end of the porch.
3. Side walls on property lines shall provide no visual access into the adjoining lot. Clerestories and translucent windows are permitted.
4. Roof overhangs may encroach a neighbor's yard a maximum of 24". House roof edges overhanging a neighbor's yard shall be guttered and drained on-site.
5. In addition, porches, stoops, balconies, roof overhangs, bay windows, and other attachments are always permitted within the footprint described in Placement above.
6. Opposite-Side Walls which face a street shall have a front door with a covered stoop and shall be composed as a house front, with a minimum of three windows per story.
7. Where no building wall is present, a front wall shall be built on the street Frontage Line. This wall shall be surfaced to match the front of the house.
8. If there is an alley, a garden wall or privacy fence shall be built at a distance of 0m from the alley Property Line, with openings where access is required. If there is no alley, a garden wall or privacy fence shall be built on the rear Property Line.
9. Openings in garden walls, privacy fences and front walls shall be gated.



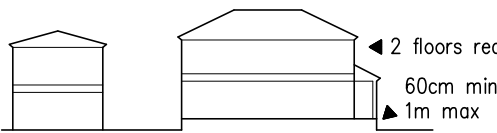
**USE**

- 1. Uses within the buildings shall be as shown.



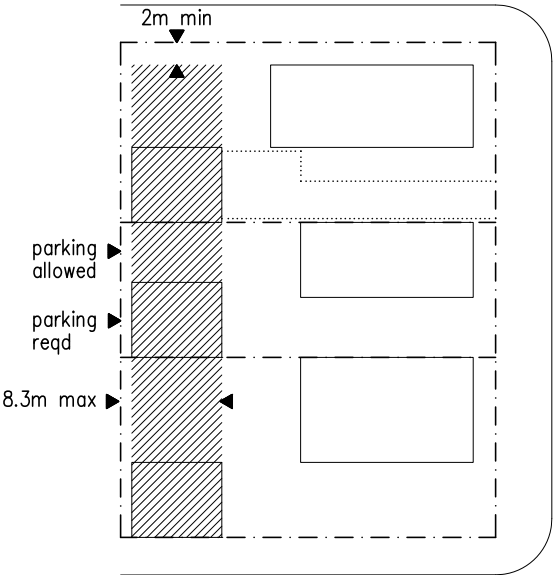
**HEIGHT**

- 1. Building height shall be measured according to the applicable N.O.T.L Zoning Bylaws.
- 2. The finished first floor (fff) is determined as shown.
- 3. The minimum exterior exposed front wall shall be 3.1m from the finished first floor (fff).
- 4. Privacy fences and garden walls shall be between 1.5m and 2.4m in height.
- 5. Picket fences shall be 60cm to 1m tall.



**PARKING**

- 1. The N.O.T.L Zoning Bylaws shall determine the minimum number of parking spaces that shall be provided for the building on-site.
- 2. Buildings on corner lots shall have garages if on an alley.
- 3. Driveways from streets are only allowed for houses with no alley access. Front-access driveways on corner lots shall be located interior to the block.
- 4. For corner lots with no alley access, the parking area shall be accessed directly from the side-street side of the lot.
- 5. Trash containers shall be located within the parking area and shall be screened from view.





# CODES - URBAN REGULATIONS

## NIAGARA-ON-THE-LAKE, ONTARIO

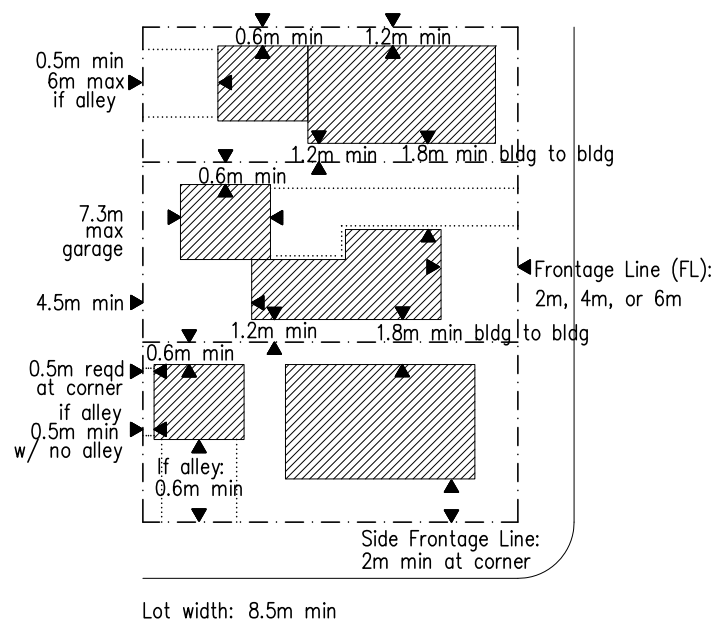
## TYPE VI - HOUSE

### NOTES

1. All proposed designs shall be submitted for approval to the Town Architect's office as stipulated in The Village Design Review Procedures. These regulations may be supplemented by additional review criteria.
2. Type VI is allowed in the RM5 and RM5-1 zones.
3. The term "Frontage Line" (FL) refers to the line upon which the front wall of a building sits and is synonymous with its setback requirement. Frontage Lines also exist for side walls facing a street or path. As specified, porches, stoops, balconies, and bay windows may protrude beyond the Frontage Line.
4. A corner condition exists whenever a road intersects with another road, a plaza, or a pedestrian path with a width of 5 meters or greater.
5. These regulations are strictly aesthetic in their intent. In cases of contradiction with local safety codes, these regulations shall be overruled, with notification given to the Village Architect. In no way does compliance with these regulations exempt a structure from conformance with other applicable codes.
6. These regulations may be overridden by The Village Regulating Plan.
7. Exceptions to these regulations may be granted on the basis of architectural merit or hardship.
8. Mobile homes, trailers, boats and watercraft shall not be stored or parked on site except if inside a garage.

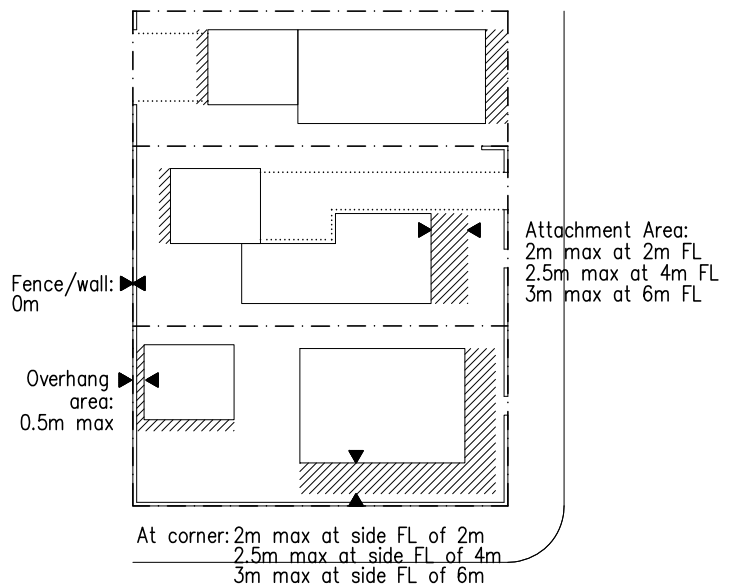
### PLACEMENT

1. Buildings shall be placed on the lot relative to the property lines as shown.
2. The building may have its Frontage Line at 2m, 4m, or 6m.
3. Buildings may have no more than 4 outside corners on the principal frontage, including porches.
4. The rear of the principal house shall remain 4.5m minimum from the rear Property Line.
5. Side setbacks of all houses shall be 1.2m minimum. Side setbacks of garages and accessory buildings shall be 0.6m minimum.
6. Garages shall be no more than 7.3m deep.
7. If there is an alley, any garage shall sit at a distance of 0.5m minimum and 6m maximum from the alley Property Line.
8. For houses with no alley access, the garage shall be set back a minimum of 6m behind the Frontage Line.
9. An accessory structure is allowed within the parking area.



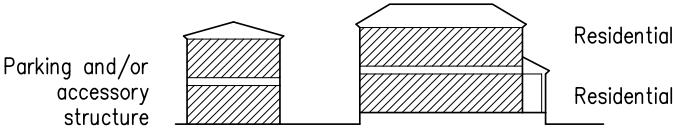
### ELEMENTS

1. Porches, stoops, balconies, roof overhangs, and/or bay windows may encroach within the Attachment Area shown.
2. When allowed, front picket fences shall be built on the front Property Line, with openings where access is required. Where no building wall is present, a garden wall or privacy fence shall be built on shared side property lines.
3. A garden wall or a privacy fence shall be built at a minimum distance of 0m from the alley Property Line, with openings where access is required.
4. Attachments: balconies, roof overhangs, and bay windows are always permitted within the area shown. Porches, stoops, and/or fences are required to be present in one of the following configurations:
  - \* If the Frontage Line is at 2m, either a stoop or a porch is required. Neither may be greater than 10 sq.m. in area. No front picket fence is permitted.
  - \* If the Frontage Line is at 4m or 6m, one of the following conditions is required: a porch, or a stoop.
5. In addition, porches, stoops, balconies, roof overhangs, bay windows and other attachments are always permitted within the footprint described in Placement above.
6. Openings in garden walls and privacy fences shall be gated.
7. Porches shall be a minimum of 2m deep. Balconies shall be a minimum of 1m deep.



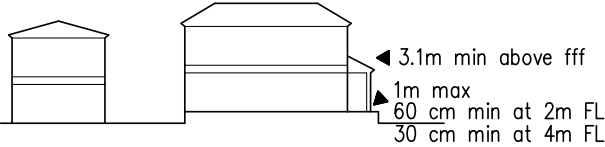
**USE**

- 1. Uses within the buildings shall be as shown.



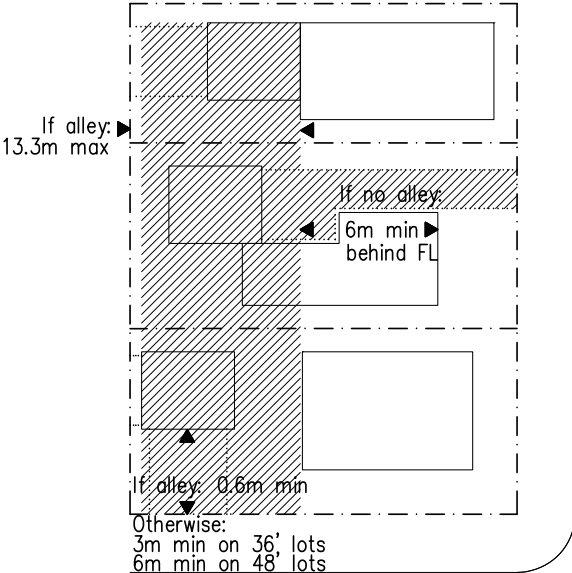
**HEIGHT**

- 1. Building height shall be measured according to the applicable N.O.T.L Zoning Bylaws.
- 2. The finished first floor (fff) is determined as shown.
- 3. The minimum exterior exposed front wall shall be 3.1m from the finished first floor (fff).
- 4. Privacy fences and garden walls shall be between 1.5m and 2.4m in height.
- 5. Picket fences shall be 60cm to 1m tall.



**PARKING**

- 1. The N.O.T.L Zoning Bylaws shall determine the minimum number of parking spaces that shall be provided for the building on-site.
- 2. Buildings on corner lots shall have garages if on an alley.
- 3. Driveways from streets are only allowed for houses with no alley access. Front-access driveways on corner lots shall be located interior to the block.
- 4. Trash containers shall be located within the parking area and shall be screened from view.



# CODES - URBAN REGULATIONS

## NIAGARA-ON-THE-LAKE, ONTARIO

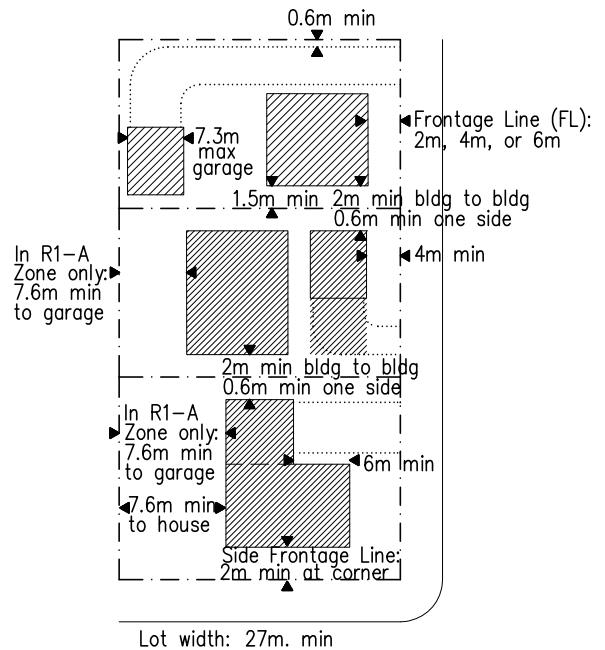
## TYPE VII - COUNTRY HOUSE

### NOTES

1. All proposed designs shall be submitted for approval to the Town Architect's office as stipulated in The Village Design Review Procedures. These regulations may be supplemented by additional review criteria.
2. Type VII is allowed in the R1-A.
3. The term "Frontage Line" (FL) refers to the line upon which the front wall of a building sits and is synonymous with its setback requirement. Frontage Lines also exist for side walls facing a street or path. As specified, porches, stoops, balconies, and bay windows may protrude beyond the Frontage Line.
4. A corner condition exists whenever a road intersects with another road, a plaza, or a pedestrian path with a width of 5 meters or greater.
5. These regulations are strictly aesthetic in their intent. In cases of contradiction with local safety codes, these regulations shall be overruled, with notification given to the Village Architect. In no way does compliance with these regulations exempt a structure from conformance with other applicable codes.
6. These regulations may be overridden by The Village Regulating Plan.
7. Exceptions to these regulations may be granted on the basis of architectural merit or hardship.
8. Mobile homes, trailers, boats and watercraft shall not be stored or parked on site except if inside a garage.

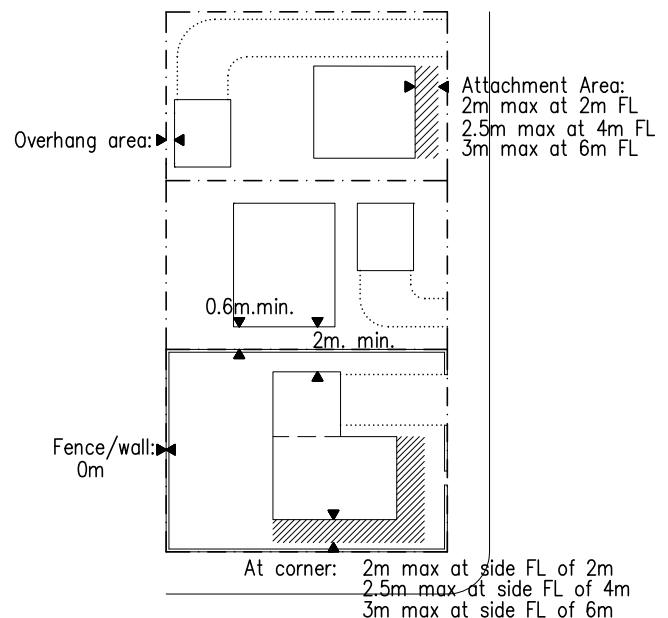
### PLACEMENT

1. Buildings shall be placed on the lot relative to the property lines as shown.
2. The building may have its Frontage Line at 2m, 4m, or 6m, as specified in the Regulating Plan.
3. Buildings may have no more than 6 outside corners on the principal frontage, including porches in front of.
4. An accessory structure is allowed behind the house.
5. For lots in the R1-A Zone, neither the house nor the garage may encroach within 7.6m of the rear Property Line. If a rear accessory building is built in the R1-A Zone, only 13.37 sq.m. of its area may encroach within this 7.6m setback. For all other lots, only the house shall remain 7.6m from the rear Property Line.
6. Side setbacks of principal building shall be 1.5m minimum. Side setbacks of porte cocheres and driveways shall be 0.6m minimum.
7. Garages shall be no more than 7.3m deep.
8. For houses with no alley access, the garage shall be set back a minimum of 6m behind the Frontage Line. Forecourt house with side-facing garage may be set back a minimum of 4m.
9. For corner lots with no alley access, the garage shall be set back 6m minimum from the side Frontage Line. For corner lots with alley access, the garage side setback shall be 2m minimum.



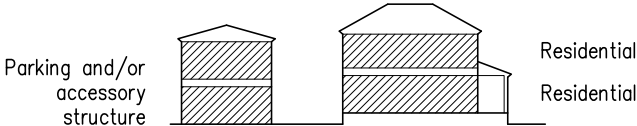
### ELEMENTS

1. Porches, stoops, balconies, roof overhangs, and/or bay windows may encroach within the Attachment Area shown.
2. When allowed, front picket fences shall be built on the front Property Line, with openings where access is required. Where no building wall is present, a garden wall or privacy fence shall be built on shared side property lines.
3. A garden wall or a privacy fence shall be built at a distance of 0m from the alley Property Line, with openings where access is required.
4. Attachments: balconies, roof overhangs, and bay windows are always permitted within the area shown. Porches, stoops, and/or fences are required to be present in one of the following configurations:
  - \* If the Frontage Line is at 2m, either a stoop or a porch is required. Neither may be greater than 10 sq.m. in area. No front picket fence is permitted.
  - \* If the Frontage Line is at 4m or 6m, one of the following conditions is required: a porch, or a stoop.
5. In addition, porches, stoops, balconies, roof overhangs, bay windows and other attachments are always permitted within the footprint described in Placement above.
6. Openings in garden walls and privacy fences shall be gated.
7. Porches shall be a minimum of 2m deep. Balconies shall be a minimum of 1m deep.



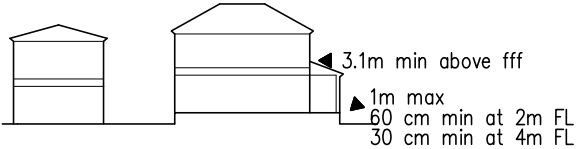
**USE**

- 1. Uses within the buildings shall be as shown.



**HEIGHT**

- 1. Building height shall be measured according to the applicable N.O.T.L Zoning Bylaws.
- 2. The finished first floor (fff) is determined as shown.
- 3. The minimum exterior exposed front wall shall be 3.1m from the finished first floor (fff).
- 4. Privacy fences and garden walls shall be between 1.5m and 2.4m in height.
- 5. Picket fences shall be 60cm to 1m tall.



**PARKING**

- 1. The N.O.T.L Zoning Bylaws shall determine the minimum number of parking spaces that shall be provided for the building, either on-site or on designated property nearby.
- 2. Buildings on corner lots shall have garages if on an alley.
- 3. Driveways from streets are only allowed for houses with no alley access. Front-access driveways on corner lots shall be located interior to the block.
- 4. Trash containers shall be located within the parking area and shall be screened from view.

